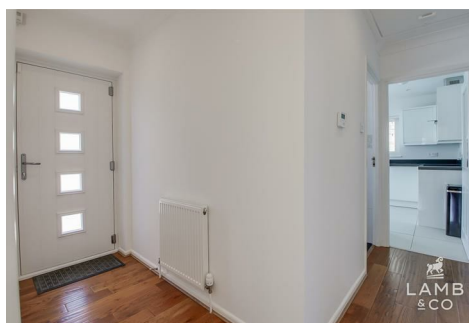




LAMB & CO

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Inspired by property, driven by passion.



BRENTWOOD ROAD, CLACTON-ON-SEA, CO15 5DR

GUIDE PRICE £265,000

Guide Price £265,000 - £275,000. Located in the sought-after coastal area of Holland-on-Sea, this well-presented two-bedroom semi-detached bungalow offers comfortable, single-level living with the added benefit of no onward chain. The property features a bright and airy lounge, a modern fitted kitchen, two generously sized bedrooms, and a well-maintained rear garden.

- Two Bedrooms
- Holland-On-Sea
- No Onward Chain
- Well Presented
- Conservatory
- EPC - E

ENTRANCE HALL

BEDROOM TWO

10'00" 10'00" (3.05m 3.05m)



BATHROOM

6'7" 6'6" (2.01m 1.98m)



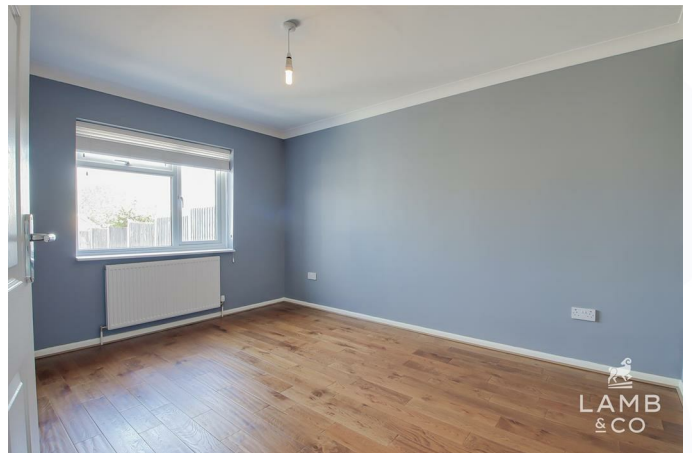
LOUNGE

13'00" 10'4" (3.96m 3.15m)



BEDROOM ONE

13'00" 10'4" (3.96m 3.15m)



KITCHEN

10'00" 10'00" (3.05m 3.05m)



LEAN TO

6'8" 4'5" (2.03m 1.35m)

CONSERVATORY

12'00" 7'7" (3.66m 2.31m)

OUTSIDE



OUTSIDE REAR



Agents Note Sales

PLEASE NOTE - Although we have not tested any of the Gas/Electrical Fixtures & Fittings, we understand them to be in good working order, however it is up to any interested party to satisfy themselves of their condition before entering into any Legal Contract.

AML

ANTI-MONEY LAUNDERING REGULATIONS 2017

- In order to comply with regulations, prospective purchasers will be asked to produce photographic identification and proof of residence documentation once entering into negotiations for a property.

Material Information

Council Tax Band: B

Heating: Gas

Services: All Mains

Broadband: Ultrafast

Mobile Coverage: Three, O2 - Likely. Vodafone, EE - Limited

Construction: Conventional

Restrictions: No

Rights & Easements: No

Flood Risk: Low

Additional Charges: No

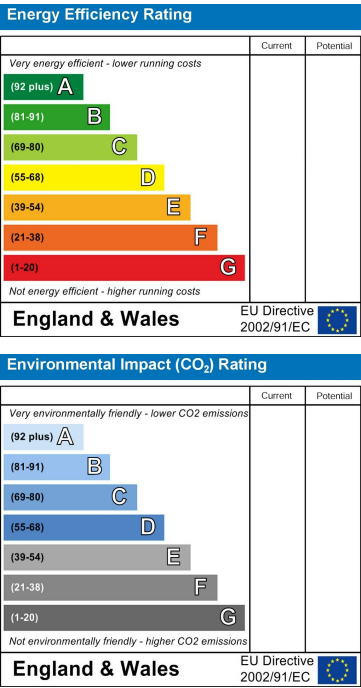
Seller's Position: No Onward Chain

Garden Facing: North

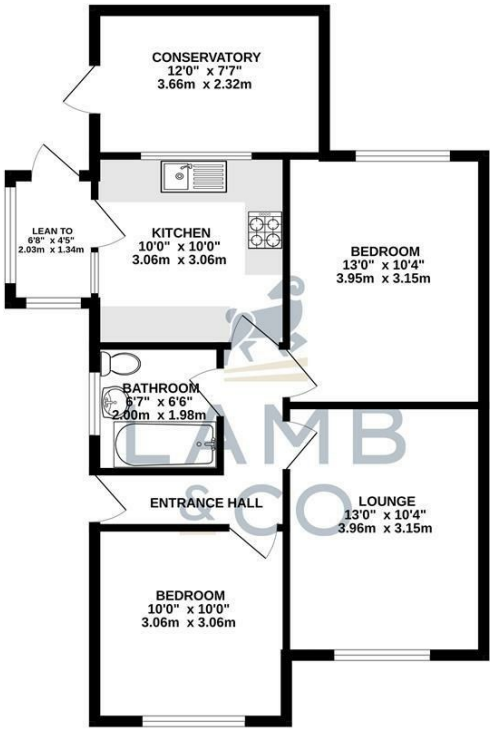
Map



EPC Graphs



Floorplan



TOTAL FLOOR AREA : 688 sq.ft. (63.9 sq.m.) approx.
Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
Made with Metropix (2025)

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